

LEGEND

AB	ADJUSTABLE BENCH
B	BROOM CUPBOARD
BSN	BASIN
BCH	BENCH
BOE	BRICK ON EDGE
BR	BROOM CUPBOARD
CL	CLOTHES LINE
CMR	COLORBOND METAL ROOFING
CPB	CUPBOARD
D	DESK
DP	DOWNPIPE
F	REFRIGERATOR LOCATION
F1	FENCE 1000mm HIGH METAL PICKET
F2	FENCE 1800mm HIGH LAPPED & CAPPED
F3	PAILING FENCE
FB1	1800 HIGH SLATTED METAL FENCE
FB2	FACE BRICK WORK TYPE 1
FC	FACE BRICK WORK TYPE 2
FCL	PAINTED FLUSH FINISH FIBRE CEMENT SHEET
FFL	FINISHED CEILING LEVEL
FGL	FINISHED FLOOR LEVEL
FG	FIXED GLASS
G	GATE
HWU	HOT WATER UNIT
LB	LETTERBOXES - RECESSED INTO WALL
L	LINEN CUPBOARD
LV	LOUVER WINDOW
MO	COLORBOND MINI ORB SHEETING
P	PANTRY
POS	PRIVATE OPEN SPACE
PS	PRIVACY SCREEN 1500mm HIGH METAL SLATS
RCC	REINFORCED CONCRETE COLUMN
RL	RELATIVE LEVEL
R	WARDROBE
RWT	RAINWATER TANK
SWP	STORMWATER PIT
T	LAUNDRY TUB
TOW	TOP OF WALL
V	VANITY
WC	TOILET SUITE
WM	WASHING MACHINE
WO	WALL OVEN

DRAWING SCHEDULE

ARCHITECTURAL	REFERENCE No	
COVER PAGE	A01	-
SITE ANALYSIS PLAN	A02	-
SITE PLAN	A03	-
GROUND FLOOR PLAN	A04	-
FIRST FLOOR PLAN	A05	-
ROOF PLAN	A06	-
ELEVATIONS	A07	-
SECTIONS, STREET BOUNDARY ELEVATION	A08	-
FINISHES SCHEDULE	A09	-
DEMOLITION PLAN	A10	-
BLOCK ANALYSIS PLAN	A11	-
SHADOW DIAGRAMS MID WINTER	A12	-
VIEWS FROM SUN DIAGRAM	A13	-
STREET PERSPECTIVE	A14	-
AREAS OF EXCAVATION & FILL	A15	-

CIVIL		
COVER SHEET & NOTES	C1	D
STORMWATER MANAGEMENT PLAN	C2	D
STORMWATER MANAGEMENT DETAILS SHEET No1	C3	D
STORMWATER MANAGEMENT DETAILS SHEET No2	C4	D
ON SITE DETENTION REPORT	C5	D
EROSION AND SEDIMENT CONTROL PLAN	C6	D
EROSION & SEDIMENT CONTROL NOTES & DETAILS	C7	D

HYDRAULIC		
COVER SHEET	HY-00-000	2
LEGEND & NOTES	HY-00-001	2
SITE SERVICES	HY-00-002	2

ELECTRICAL		
COVER SHEET	EL-00-000	2
SITE SERVICES	EL-00-003	2

LANDSCAPE		
LANDSCAPE PLAN	LA 1 OF 2	F
LANDSCAPE DETAILS & SPECIFICATION	LA 2 OF 2	F

SURVEY
BY: TTS TOTAL SURVEYING SOLUTIONS

DETAIL & CONTOUR SURVEY	S 1 OF 5
DETAIL & CONTOUR SURVEY	S 2 OF 5
DETAIL & CONTOUR SURVEY	S 3 OF 5
LONG SECTIONS	S 4 OF 5
LONG SECTIONS	S 5 OF 5

DATE OF SURVEY: 06/10/2021
JOB NUMBER: 211660

SENIORS HOUSING DEVELOPMENT

41-43 OWEN AVE, WYONG

Lots 67 & 68 in DP 529880



LOCATION DIAGRAM



STREET PERSPECTIVE

DEVELOPMENT DATA TABLE

Locality / Suburb	Wyong					
Street Address	41-43 Owen Avenue					
Lot & DP	Lot 67 in DP 529880 Lot 68 in DP 529880					
Site Area	1161.4 m ² (as per survey)					
Existing Lots	2					
Proposed GFA	466 m ²					
Dwelling #	2 x 1 Bed 4 x 2 Bed = 6 Dwellings					
DWELLINGS	Number	Type*	No of Bedrooms		Area* (m ²)	POS*
	1	Ground	2	Seniors Living	78	74
	2	First	2	Seniors Living	78	13
	3	Ground	2	Seniors Living	78	27
	4	First	2	Seniors Living	78	16
	5	Ground	1	Seniors Living	57	40
	6	First	1	Seniors Living	57	14
DCP/SEPP	Control		Requirement		Proposed	
HEIGHT	Central Coast DCP 2022		10m			
	Housing SEPP 2021		9.5m		7.8m to top of the roof	
FSR	Central Coast Council LEP 2022		0.5:1		0.4:1	
	Housing SEPP 2021		0.5:1		0.45:1	
SETBACK	Central Coast DCP 2022	Front Street	Roads where the road reserve is less than 12m wide: 6.0m		6m	
		Secondary	i. 3.0m, plus compliance with sight preservation lines		6m	
		Side	i. for any part of the building with a height of up to 4.5m-0.9m, and ii. for any part of the building with a height of more than 4.5-0.9m plus one-quoter of the height of the building above 4.5m <i>(Note: Unbroken lengths of wall exceeding 10m in length and 3m in height shall not be permitted)</i>		3m Complies	
			Rear	i. 4.5m		
PARKING	Clause 108(j) of Housing SEPP 2021	accessible parking	0.2 x (no. of dwellings) 0.2 x 6 = 1.2		2	
	LAHC requires more parking which is calculated at rate mentioned in Clause 42 'Accessible area'		0.4 x(no. 1 Beds) = 0.8 0.5 x (no. 2 Beds) = 2 Total = 3		4* *inclusive of 2 accessible spots	
LANDSCAPING AREA	Clause 108(j) of Housing SEPP 2021	Seniors for LAHC	35 m ² per Dwelling 35 x 6 = 210 m ²		423 m ²	
DEEP SOIL	Clause 108(j) of Housing SEPP 2021	Seniors for LAHC	15% of the site area 0.15*1164.1 = 174.1 m ² 65% at the rear = 113.23m ² (where possible)		21% = 247 m ² 25% at rear = 62m ²	
SOLAR ACCESS	Clause 108(j) of Housing SEPP 2021	Seniors for LAHC	70% for 2hrs in Mid-Winter = 4.2		100% = 6	

41-43 Owen Ave, WYONG, NSW



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dple.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects. Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Beattie Street, Balmah, NSW
Phone: (02) 9555 9028 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT	BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 9028
PROJECT MANAGER	LAND & HOUSING CORPORATION PH (02) 8753 9000
LANDSCAPE CONSULTANT	GREENLAND DESIGN PTY LTD PH (0603) 164 198

CIVIL CONSULTANT	ACOR CONSULTANTS PTY LTD PH (02) 4524 3488
HYDRAULIC CONSULTANT	MARLINE NEWCASTLE PTY LTD PH (02) 4925 9300 FAX (02) 4926 3811
ELECTRICAL CONSULTANT	MARLINE NEWCASTLE PTY LTD PH (02) 4925 9300 FAX (02) 4926 3811

BUSINESS PARTNER:



PROJECT:
SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW
LOTS 67 & 68 in DP 529880

TITLE:
LOCATION DIAGRAM

TITLE: LOCATION DIAGRAM		STATUS: DA			
		DATE: 22/03/23	SCALE: N.T.S.	PROJ: -	PROJECT No: BGYCG
		STAGE:	DRAWN: MB	CHECKED: BR	NON-REACTIVE EFFECT: <i>BR</i>
		TYPE: A	SHEET: A01	REV: -	
FILE: DA A03g Owen Ave Wyong.dwg		PLOTTED: 22/03/2023 4:24 PM			

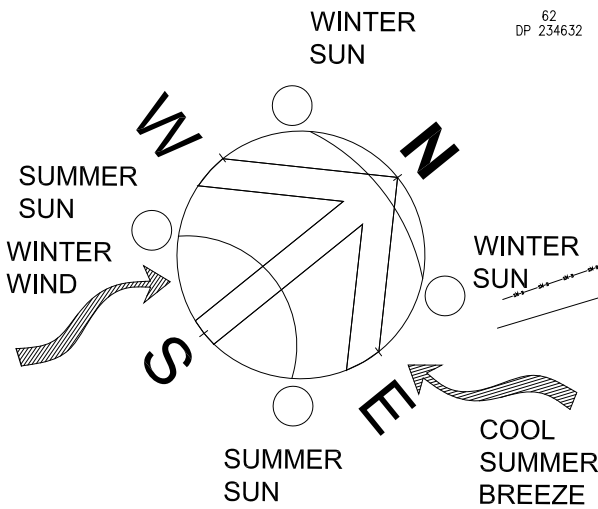
Bus stop along
Cutler Drive
50m

Local Shops along
Cutler Drive
160m

Shops & Supermarket
Wyong Police Station
Approx 550m
Wyong Train Station
Approx 1.1 klm

Mainly single storey
detached dwellings
along Owen Avenue

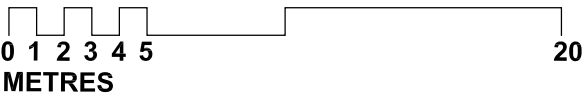
Pacific Highway
150m



Caravan park

Recently constructed
single storey dwelling

SITE ANALYSIS PLAN
SCALE



- TREE TO BE RETAINED AND PROTECTED REFER ARBORIST REPORT
- TREE TO BE REMOVED
- T3 TREE NUMBER. REFER TO ARBORIST REPORT



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects. Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Bourke Street, Balmain, NSW
Phone: (02) 9555 9029 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
BARRY RUSH & ASSOCIATES PTY LTD
PH (02) 9555 9029
PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 8753 9000
LANDSCAPE CONSULTANT
GREENLAND DESIGN PTY LTD
PH (0603) 344 198

CIVIL CONSULTANT
ACOR CONSULTANTS PTY LTD
PH (02) 4924 3489
HYDRAULIC CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX: (02) 4926 3811
ELECTRICAL CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX: (02) 4926 3811

BUSINESS PARTNER:

PROJECT:
SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW
LOTS 67 & 68 in DP 529880

SITE ANALYSIS PLAN

FILE:
DA A03g Owen Ave Wyong.dwg

PLOTTED:
22/03/2023 4:24 PM

STATUS: DA

DATE:
22/03/23

SCALE:
N.T.S.

PROJ:
-

PROJECT No:
BGYCG
STAGE:
DRAWN:
MB
CHECKED:
BR
NOMINATED ARCHITECT:
BR
REV:
-



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects. Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Beattie Street, Balmah, NSW
Phone: (02) 9555 9028 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
BARRY RUSH & ASSOCIATES PTY LTD
PH (02) 9555 9028

PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 8753 9000

LANDSCAPE CONSULTANT
GREENLAND DESIGN PTY LTD
PH (0403) 164 198

CIVIL CONSULTANT
ACOR CONSULTANTS PTY LTD
PH (02) 4524 5488

HYDRAULIC CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811

ELECTRICAL CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811

BUSINESS PARTNER:

PROJECT:
SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW
LOTS 67 & 68 in DP 529880

TITLE:
SITE PLAN

FILE:
DA A03g Owen Ave Wyong.dwg

PLOTTED:
22/03/2023 4:24 PM

STATUS: DA

DATE: 22/03/23

SCALE: 1:100

STAGE: -

DRAWN: MB

CHECKED: BR

TYPE: A

PROJECT No:

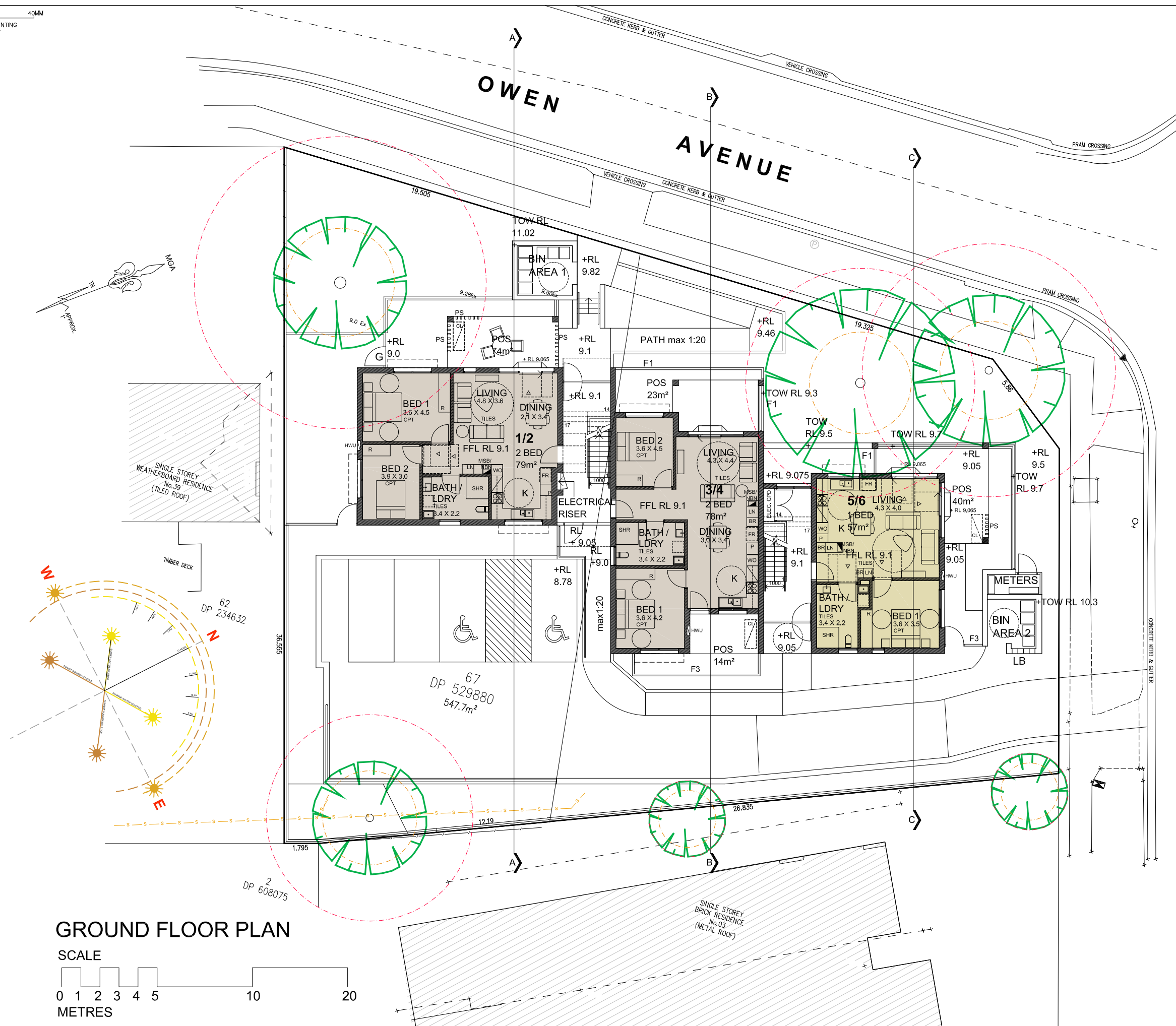
BGYCG

DESIGNED: BR

CHECKED: BR

SHEET: A03

REV: -



GROUND FLOOR PLAN

SCALE



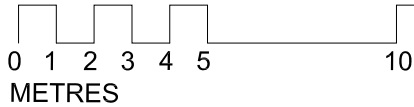
LEGEND:

- 1 BED UNIT
2 BED UNIT



FIRST FLOOR PLAN

SCALE



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dple.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects, Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Beattie Street, Balmah, NSW
Phone: (02) 9555 9028 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-
-	-	-
-	-	-

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

ARCHITECT
BARRY RUSH & ASSOCIATES PTY LTD
PH (02) 9555 9028

PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 8753 9000

LANDSCAPE CONSULTANT
GREENLAND DESIGN PTY LTD
PH (0403) 164 198

CIVIL CONSULTANT
ACOR CONSULTANTS PTY LTD
PH (02) 4924 3488

HYDRAULIC CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4928 3811

ELECTRICAL CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4928 3811

BUSINESS PARTNER:

PROJECT:
SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW
LOTS 67 & 68 in DP 529880

TITLE:
FIRST FLOOR PLAN

FILE:
DA A03g Owen Ave Wyong.dwg

PLOTTED:
22/03/2023 4:24 PM

STATUS: DA

DATE: 22/03/23

SCALE: 1:100

STAGE: -

DRAWN: MB

CHECKED: BR

TYPE: A

PROJ: -

PROJECT No: BGYCG

DESIGNED: -

CHECKED: BR

DESIGNED: -

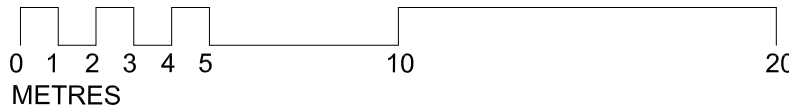
REV: -

SHEET: A05



ROOF PLAN

SCALE



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects, Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Beattie Street, Balmah, NSW
Phone: (02) 9555 9029 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
BARRY RUSH & ASSOCIATES PTY LTD
PH (02) 9555 9029
PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 8753 9000
LANDSCAPE CONSULTANT
GREENLAND DESIGN PTY LTD
PH (0403) 164 198

CIVIL CONSULTANT
ACOR CONSULTANTS PTY LTD
PH (02) 4924 3489
HYDRAULIC CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811
ELECTRICAL CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811

BUSINESS PARTNER:

PROJECT:
**SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW**
LOTS 67 & 68 in DP 529880

ROOF PLAN

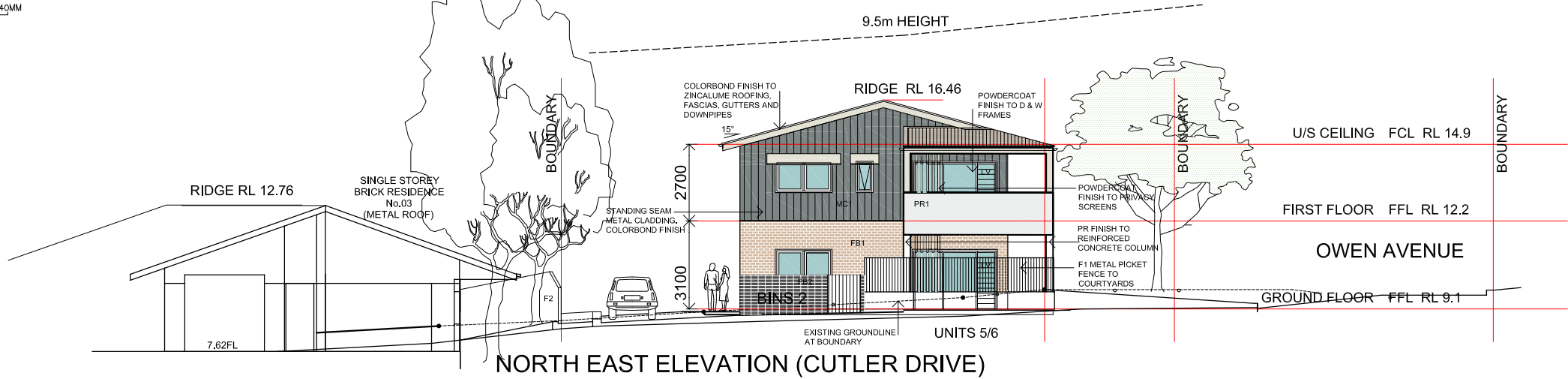
FILE:
DA A03g Owen Ave Wyong.dwg

PLOTTED:
22/03/2023 4:24 PM

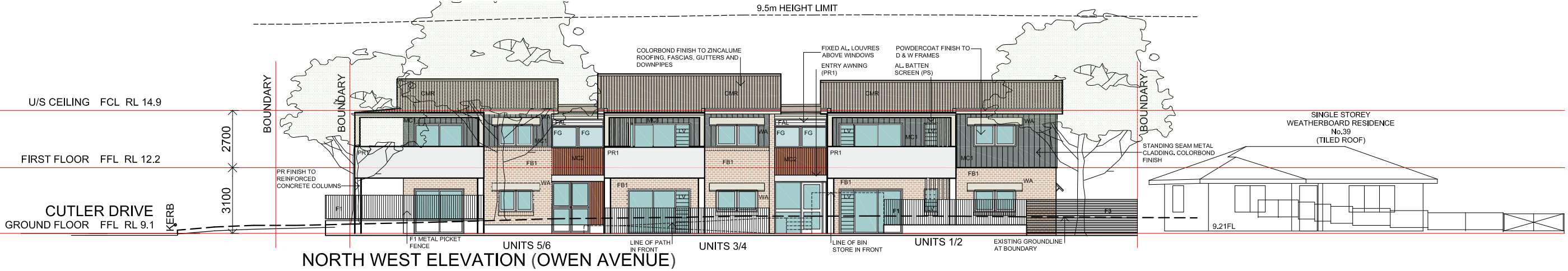
STATUS: DA
DATE: 22/03/23
SCALE: 1:100
TYPE: A

PROJ: -
DRAWN: MB
SHEET: A06

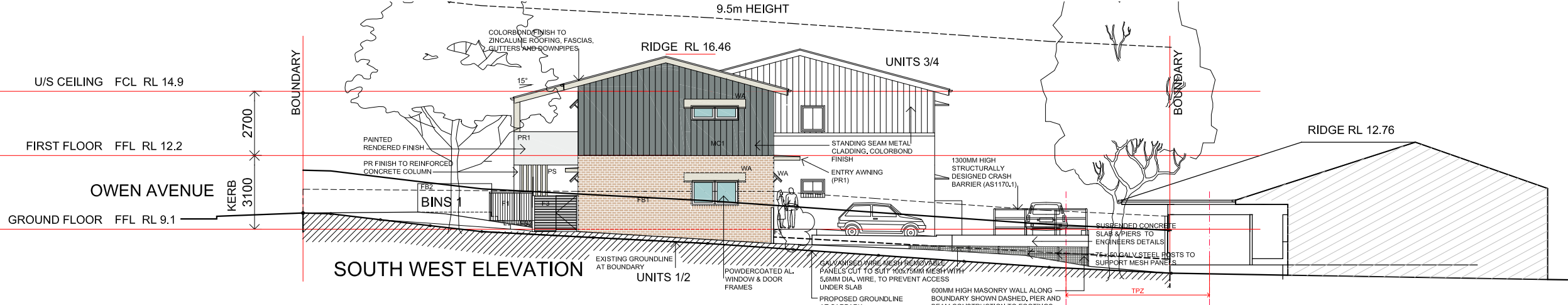
PROJECT No: BGYCG
CHECKED: BR
DESIGNATED ARCHITECT: BR
REV: -



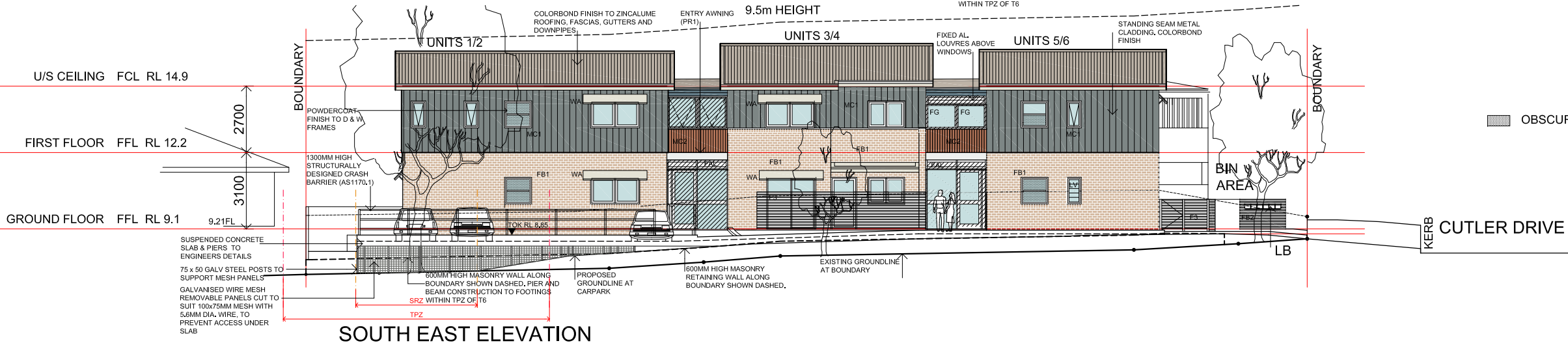
NORTH EAST ELEVATION (CUTLER DRIVE)



NORTH WEST ELEVATION (OWEN AVENUE)



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects, Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Beattie Street, Balmah, NSW
Phone: (02) 9555 9028 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

ARCHITECT
BARRY RUSH & ASSOCIATES PTY LTD
PH (02) 9555 9028
PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 8753 9000
LANDSCAPE CONSULTANT
GREENLAND DESIGN PTY LTD
PH (0403) 164 198

CIVIL CONSULTANT
ACOR CONSULTANTS PTY LTD
PH (02) 4924 3489
HYDRAULIC CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811
ELECTRICAL CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811

BUSINESS PARTNER:
ACOR CONSULTANTS PTY LTD
PH (02) 4924 3489

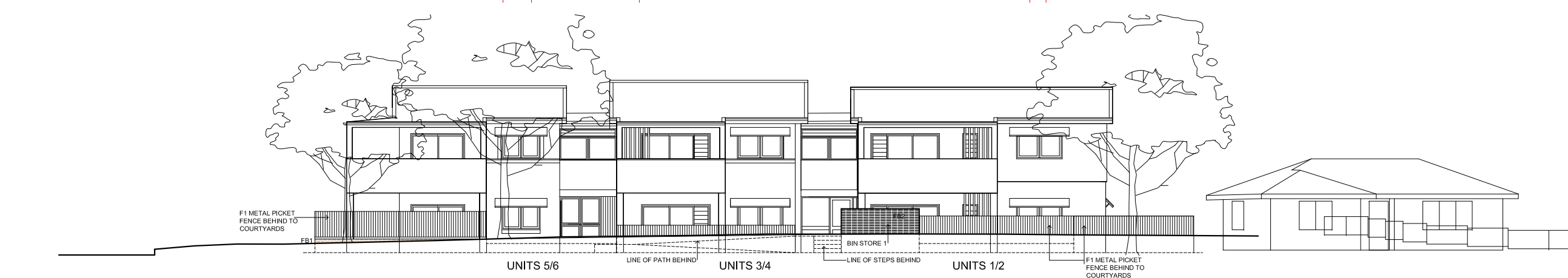
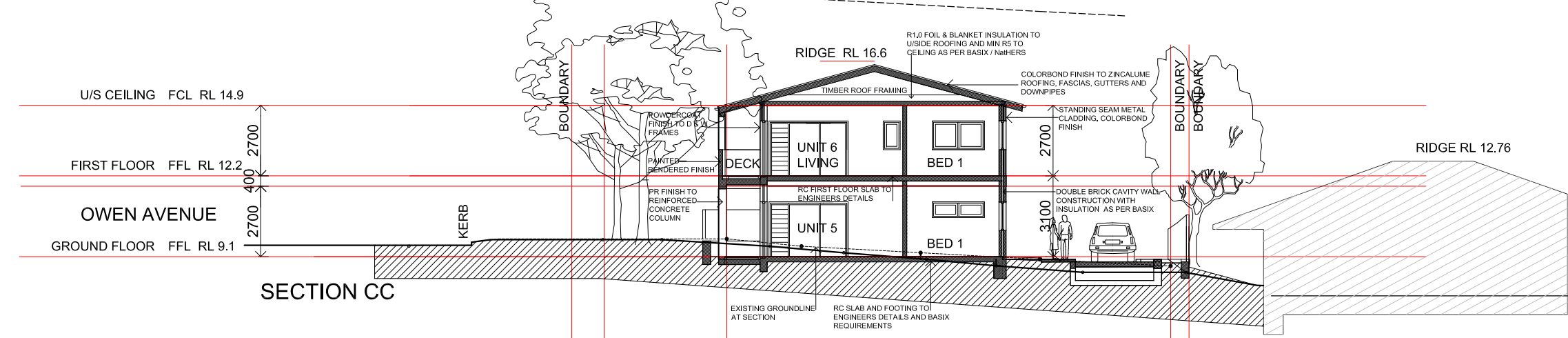
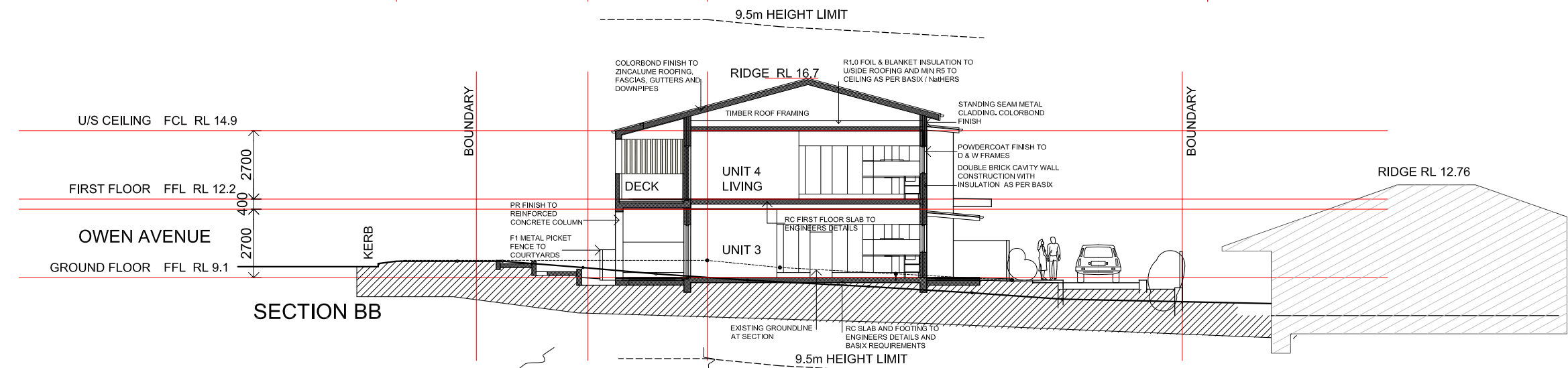
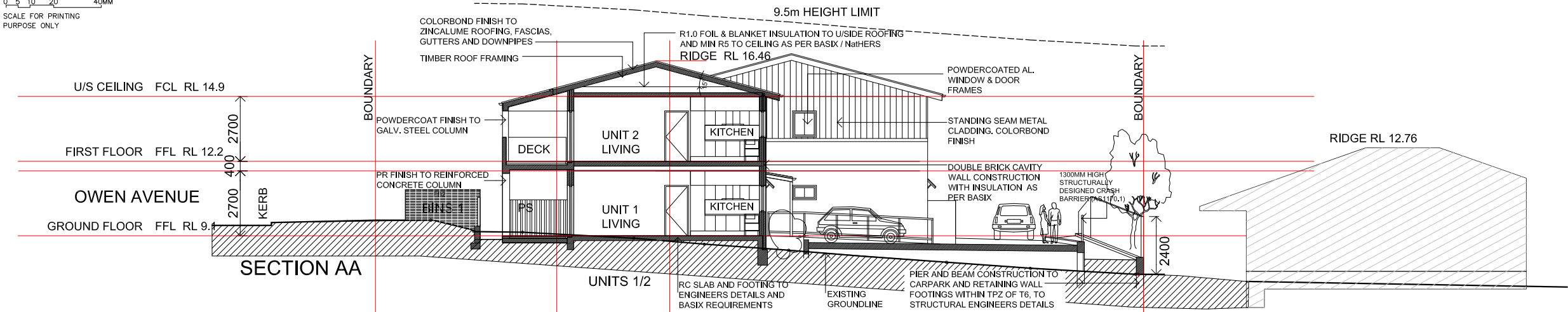
PROJECT:
SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW
LOTS 67 & 68 in DP 529880

TITLE:
ELEVATIONS

FILE:
DA A03g Owen Ave Wyong.dwg

STATUS: DA
DATE: 22/03/23
SCALE: 1:100
STAGE: DRAWN: MB
CHECKED: BR
TYPE: A
SHEET: A07

PROJECT No: BGYCG
NOMINATED ARCHITECT: BR
REV: -
PLOTTED: 22/03/2023 4:24 PM



May 2023	BSA Reference: 18669
Building Sustainability Assessments	Ph: (02) 4962 3439
enquiries@buildingsustainability.net.au	www.buildingsustainability.net.au
Important Note The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. In NSW both BASIX & the BCA variations must be complied with, in particular the following: - Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1 - Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d) - Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (e) or (c), (d) & (e) - Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.	
Thermal Performance Specifications (does not apply to garage)	
External Wall Construction Added Insulation	
Cavity Brick	R1.0
Reverse Brick Veneer	R2.5
Internal Wall Construction Added Insulation	
Brick (internal to units)	None
Cavity Brick (adjacent to common lobbies/stair)	R1.0
Ceiling Construction Added Insulation	
Plasterboard	R5.0 to ceilings adjacent to roof space
Roof Construction Colour (Solar Absorptance) Added Insulation	
Metal	SA 0.47 Foil + R1.0 blanket
Floor Construction Covering Added Insulation	
Concrete	As drawn (if not noted default values used) 175 Waffle pod to ground floor
Windows Glass and frame type U value SHGC Range Area sq m	
Performance glazing Type A	4.80 0.46 - 0.56
Performance glazing Type B	4.80 0.53 - 0.65
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers	
Skylights Glass and frame type U SHGC Area sq m Detail	
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified	
Shade elements (eaves, verandahs, awnings etc)	
All shade elements modelled as drawn	
Ceiling Penetrations (downlights, exhaust fans, flues etc)	
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA	
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.	
Additional Notes	
Nil	



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
https://www.dple.nsw.gov.au/land-and-housing-corporation



Barry Rush & Associates Pty Ltd
Architects. Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Beattie Street, Balmah, NSW
Phone: (02) 9555 9028 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

ARCHITECT
BARRY RUSH & ASSOCIATES PTY LTD
PH (02) 9555 9028
PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 8753 9000
LANDSCAPE CONSULTANT
GREENLAND DESIGN PTY LTD
PH (0403) 164 198

CIVIL CONSULTANT
ACOR CONSULTANTS PTY LTD
PH (02) 4924 3489
HYDRAULIC CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811
ELECTRICAL CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811

BUSINESS PARTNER:

PROJECT:
SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW
LOTS 67 & 68 in DP 529880

TITLE:
SECTIONS
STREET BOUNDARY
ELEVATION

FILE:
DA A03g Owen Ave Wyong.dwg

PLOTTED:
22/03/2023 4:24 PM

STATUS: DA

DATE: 22/03/23

SCALE: 1:100

STAGE: DRAWN: MB

CHECKED: BR

TYPE: A

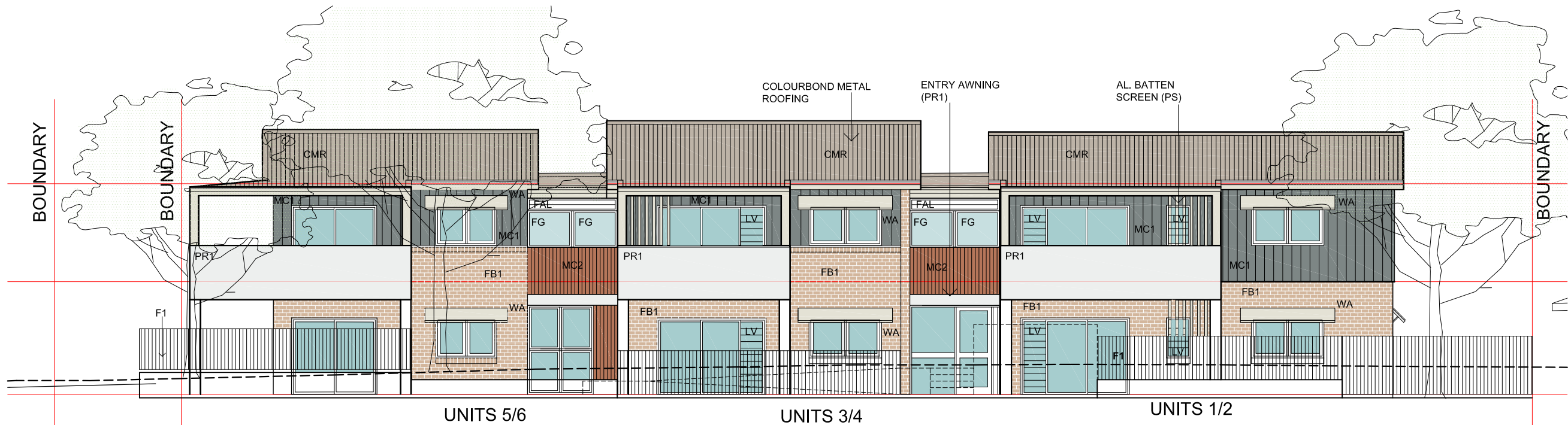
PROJECT No:

BGYCG

DESIGNED: MB

CHECKED: BR

REV: -



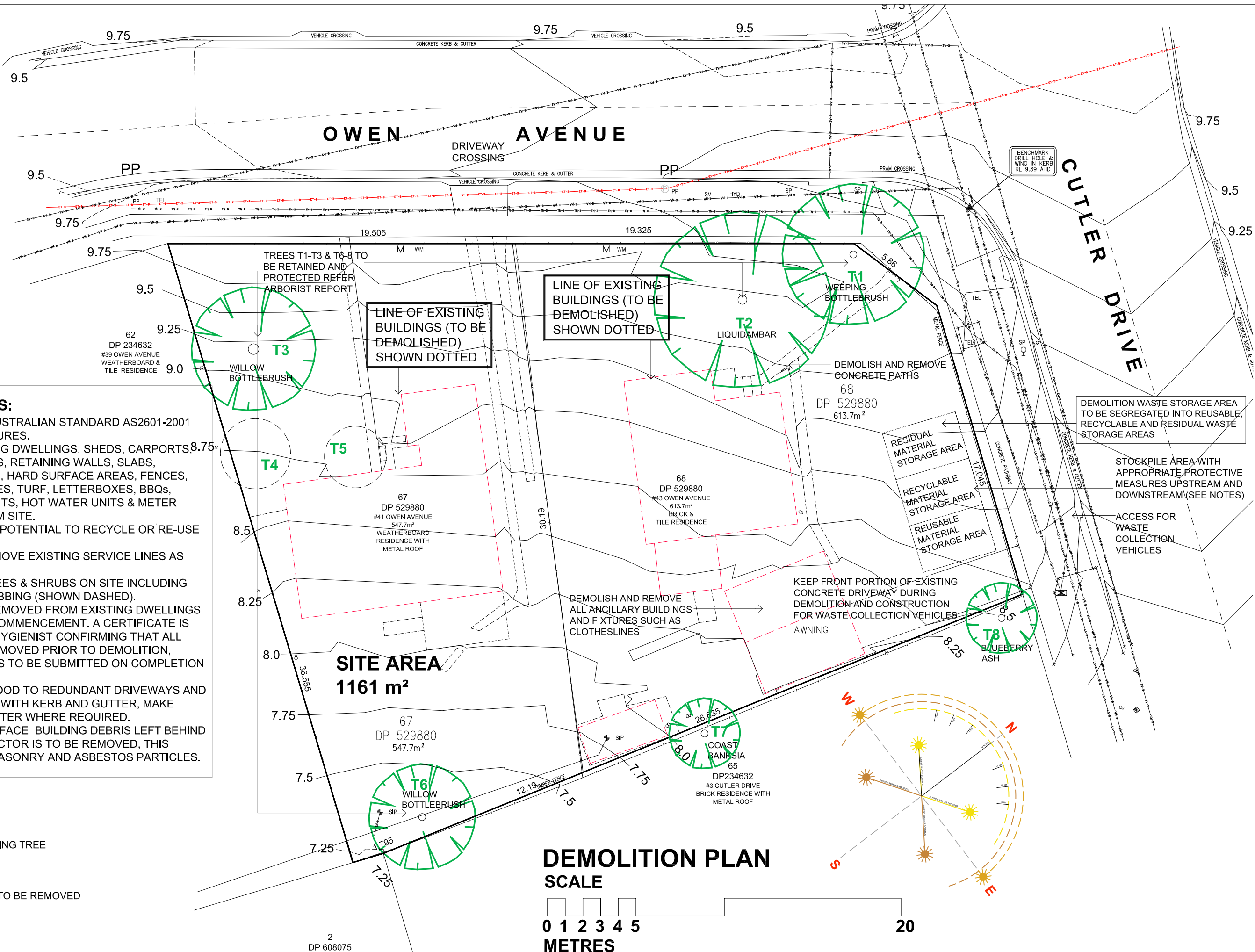
NORTH WEST ELEVATION (OWEN AVENUE)

FG FIXED GLASS
LV LOUVER WINDOW
WA WINDOW AWNING

FINISHES SCHEDULE

CODE	LOCATION		DESCRIPTION	COLOUR
CMR	ROOFING/		COLORBOND METAL ROOFING	DUNE
MDR			METAL DECK ROOFING	
	FASCIA/ GUTTER/ WINDOW AWNINGS		METAL POWDERCOATED	SURFMIST
FB1	WALLS		FACE BRICK	AUSTRAL BRICKS EVERYDAY LIFE 'ENGAGE'
FB2	BIN STORAGE WALLS		FACE BRICK	AUSTRAL BRICKS EVERYDAY LIFE 'FREEDOM'
PR1	CONCRETE AWNING ABOVE ENTRIES GROUND FLOOR CONCRETE COLUMNS		OFF-FORM CONCRETE SKIM COAT RENDER + GRANOSITE SMOOTH PAINT	DULUX LEXICON HALF
PR1	BALCONIES		PAINTED RENDER	DULUX LEXICON HALF

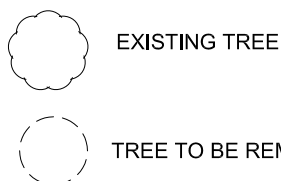
CODE	LOCATION		DESCRIPTION	COLOUR
MC1 F1	FIRST FL. WALLS; FRONT OF THE HOUSE FENCING		METAL WALL CLADDING STANDING SEAM 1200MM HIGH METAL FENCING	BASALT
MC2	WALL ABOVE ENTRY		COLORBOND WALL CLADDING	TERRAIN
W & D FAL	WINDOWS & GLASS DOORS FRAMING, FIXED ALUMINIUM LOUVRES		POWDERCOATED ALUMNIUM	MONUMENT
PS	PRIVACY SCREEN		ALUMINIUM VERTICAL BARS	SURFMIST
PS	BALCONIES' COLUMNS STRUCTURE		POWDERCOATED METAL	SURFMIST
FC1	BALCONY'S LINING & SOFFIT		PAINTED FIBER CEMENT SHEETING	DULUX LEXICON HALF
F2	FENCE		1800 HIGH COLORBOND METAL FENCE	DULUX SHALE GREY
F3	FENCE		1500 HIGH SLATTED METAL FENCE	DULUX SHALE GREY



DEMOLITION NOTES:

- 1. ALL DEMOLITION TO AUSTRALIAN STANDARD AS2601-2001 DEMOLITION OF STRUCTURES.**
- 2. DEMOLISH ALL EXISTING DWELLINGS, SHEDS, CARPORTS,8,7 GARAGES, STEPS, RAMPS, RETAINING WALLS, SLABS, FOOTPATHS & FOOTINGS, HARD SURFACE AREAS, FENCES, RAILINGS, PLANTER BOXES, TURF, LETTERBOXES, BBQs, CLOTHES HOISTS, AC UNITS, HOT WATER UNITS & METER BOARDS & REMOVE FROM SITE.**
- 3. SORT MATERIALS FOR POTENTIAL TO RECYCLE OR RE-USE ON-SITE.**
- 4. DISCONNECT AND REMOVE EXISTING SERVICE LINES AS REQUIRED.**
- 5. REMOVE EXISTING TREES & SHRUBS ON SITE INCLUDING STUMP GRINDING & GRUBBING (SHOWN DASHED).**
- 6. ASBESTOS IS TO BE REMOVED FROM EXISTING DWELLINGS PRIOR TO DEMOLITION COMMENCEMENT. A CERTIFICATE IS TO BE SUBMITTED BY A HYGIENIST CONFIRMING THAT ALL ASBESTOS HAS BEEN REMOVED PRIOR TO DEMOLITION, ANOTHER CERTIFICATE IS TO BE SUBMITTED ON COMPLETION OF DEMOLITION.**
- 7. REMOVE AND MAKE GOOD TO REDUNDANT DRIVEWAYS AND CROSSOVERS, REPLACE WITH KERB AND GUTTER, MAKE GOOD TO KERB AND GUTTER WHERE REQUIRED.**
- 8. REMOVAL OF ANY SURFACE BUILDING DEBRIS LEFT BEHIND BY REMOVAL CONTRACTOR IS TO BE REMOVED, THIS INCLUDES CONCRETE, MASONRY AND ASBESTOS PARTICLES.**

LEGEND:



LEGEND: BLOCK PLAN

-  PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING
-  PROPOSED DEVELOPMENT AT 26-30 CUTLER DRIVE, OWNED BY DEPARTMENT OF HOUSING
-  EXISTING DEVELOPMENT (WITH IMAGE)
-  EXISTING DEVELOPMENT (WITHOUT IMAGE)



EXISTING 1 STOREY MULTI UNIT DEVELOPMENT



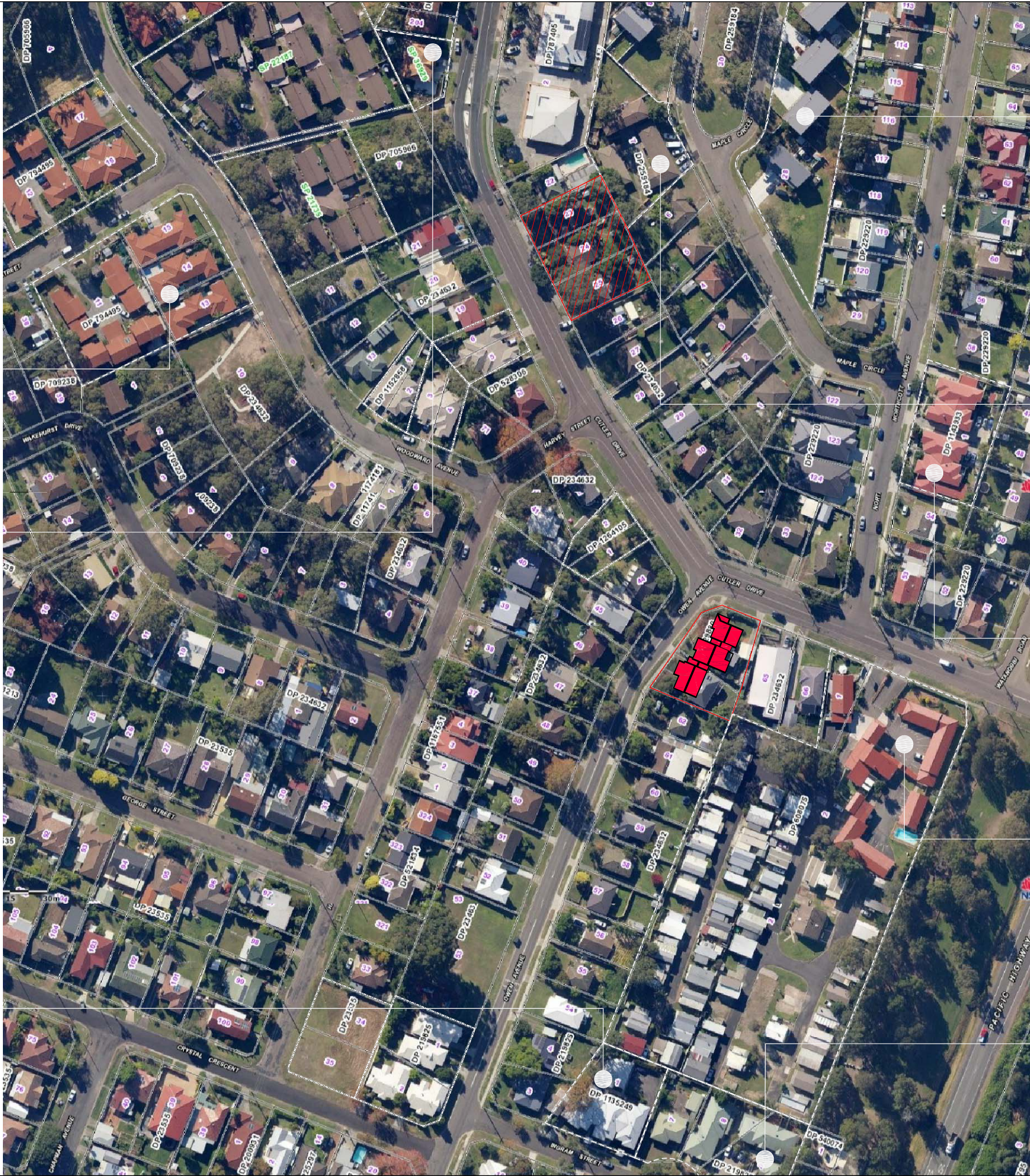
EXISTING GROUP OF 2 STOREY DUAL OCCUPANCY DWELLINGS



EXISTING GROUP OF 1 & 2 STOREY DUAL OCCUPANCY DWELLINGS AT 16 WATANOBBI RD. (NOT SHOWN ON PLAN)



EXISTING 2 STOREY MULTI UNIT DEVELOPMENT



EXISTING 2 STOREY MULTI UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI UNIT DEVELOPMENT



EXISTING 2 STOREY MULTI UNIT DEVELOPMENT



EXISTING 1 STOREY MOTEL / CARAVAN VILLAGE



EXISTING 1 & 2 STOREY MULTI UNIT DEVELOPMENT



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dple.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects. Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Bourke Street, Balmah, NSW
Phone: (02) 9555 9025 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
BARRY RUSH & ASSOCIATES PTY LTD
PH (02) 9555 9028

PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 8753 9000

LANDSCAPE CONSULTANT
GREENLAND DESIGN PTY LTD
PH (0403) 164 198

CIVIL CONSULTANT
ACOR CONSULTANTS PTY LTD
PH (02) 4924 3489

HYDRAULIC CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811

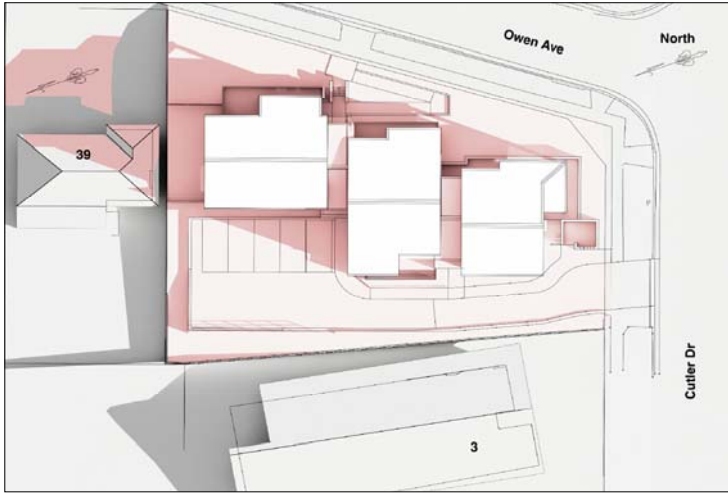
ELECTRICAL CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811

BUSINESS PARTNER:

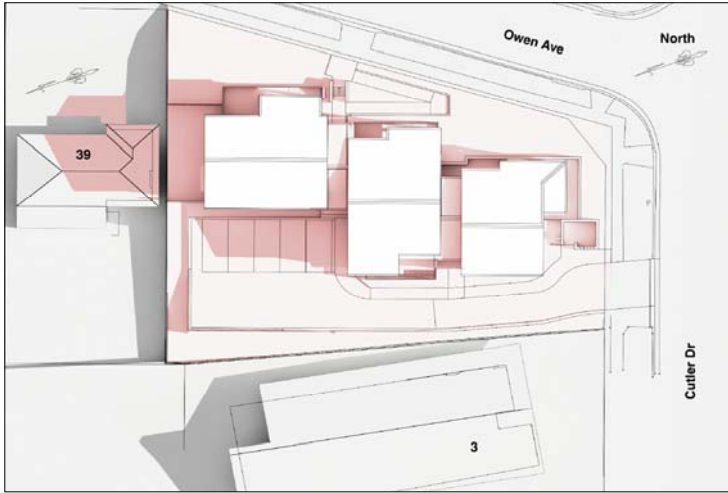
PROJECT:
**SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW
LOTS 67 & 68 IN DP 529880**

TITLE:
BLOCK ANALYSIS PLAN

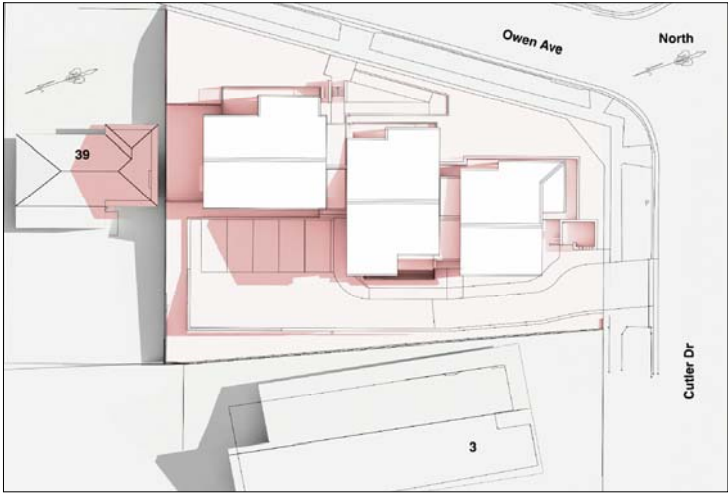
STATUS: DA		DATE: 22/03/23	SCALE: 1:100	PROJ: -	PROJECT No: BGYCG
STAGE:	DRAWN: LP	CHECKED: BR	DESIGNED: BR	DATE: 22/03/23	PROJECT No: BGYCG
FILE: D:\A11 Block Owen Ave Wyong 220323.dwg	PLOTTED: 23/03/2023 10:34 AM	TYPE: A	SHEET: A11	REV: -	



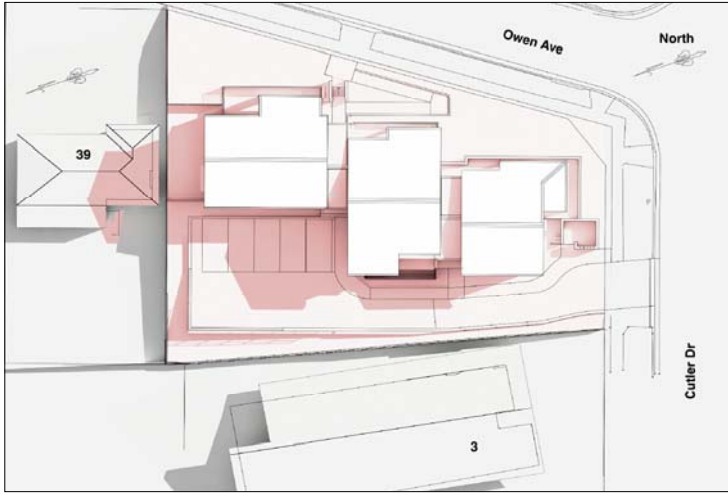
9AM 21ST JUNE



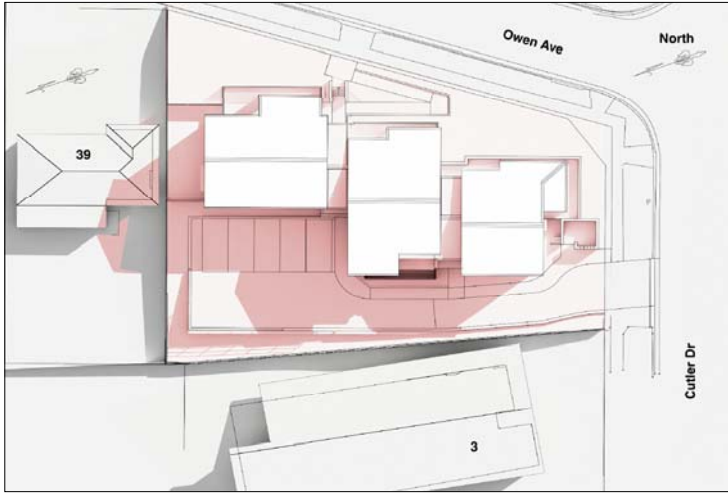
10AM 21ST JUNE



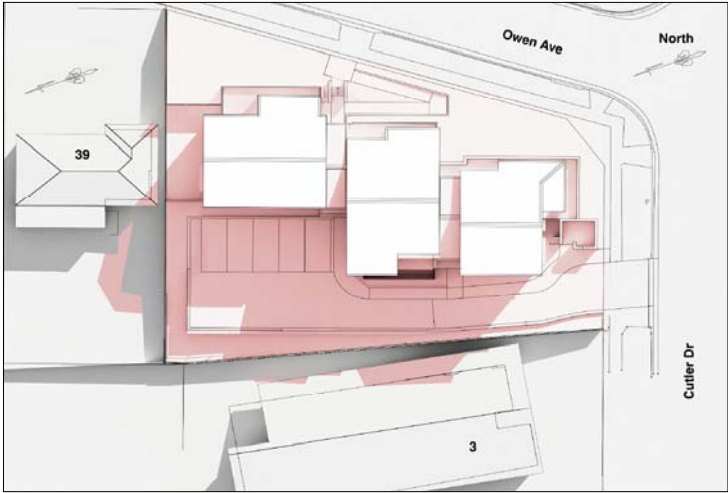
11AM 21ST JUNE



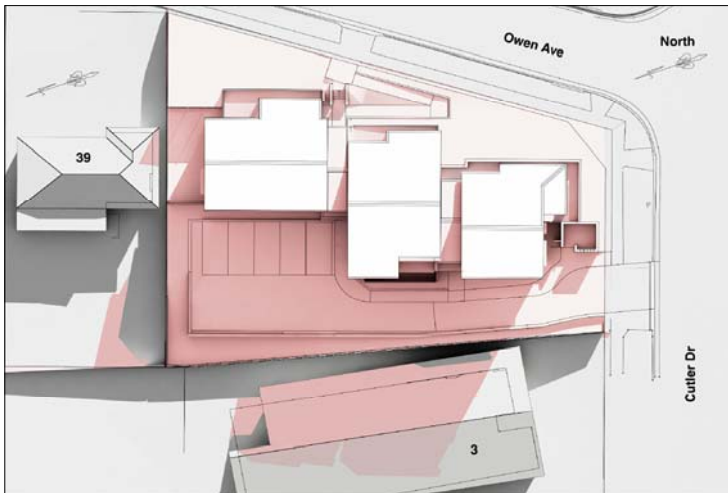
12NOON 21ST JUNE



1PM 21ST JUNE



2PM 21ST JUNE



3PM 21ST JUNE



LEGEND:

- Pink area Indicates shadows cast by proposed development
- Grey area indicates shadows cast by boundary fencing and neighboring properties



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dple.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects, Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Beattie Street, Balmah, NSW
Phone: (02) 9555 9029 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 9029	CIVIL CONSULTANT ACOR CONSULTANTS PTY LTD PH (02) 4924 3489
PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 8753 9000	HYDRAULIC CONSULTANT MARLINE NEWCASTLE PTY LTD PH (02) 4925 9300 FAX (02) 4926 3811
LANDSCAPE CONSULTANT GREENLAND DESIGN PTY LTD PH (0603) 384 198	ELECTRICAL CONSULTANT MARLINE NEWCASTLE PTY LTD PH (02) 4925 9300 FAX (02) 4926 3811

BUSINESS PARTNER:

PROJECT:
**SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW
LOTS 67 & 68 in DP 529880**

TITLE:
**SHADOW DIAGRAMS
MID WINTER**

FILE:
D:\A A12 A13 A14a 3d Owen Ave Wyong 220323.dwg

PLOTTED:
23/03/2023 10:35 AM

STATUS: DA	DATE: 22/03/23	SCALE: N.T.S.	PROJ: -	PROJECT No: BGYCG
	STAGE: MB	DRAWN: MB	CHECKED: BR	NOMINATED ARCHITECT: BR
	TYPE: A	SHEET: A12	REV: -	



9AM 21ST JUNE



10AM 21ST JUNE



11AM 21ST JUNE



12NOON 21ST JUNE



1PM 21ST JUNE



2PM 21ST JUNE



3PM 21ST JUNE



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects. Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Beattie Street, Balmah, NSW
Phone: (02) 9555 9028 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 9028	CIVIL CONSULTANT ACOR CONSULTANTS PTY LTD PH (02) 4924 3489
PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 8753 9000	HYDRAULIC CONSULTANT MARLINE NEWCASTLE PTY LTD PH (02) 4925 9300 FAX (02) 4926 3811
LANDSCAPE CONSULTANT GREENLAND DESIGN PTY LTD PH (0603) 164 198	ELECTRICAL CONSULTANT MARLINE NEWCASTLE PTY LTD PH (02) 4925 9300 FAX (02) 4926 3811

BUSINESS PARTNER:

PROJECT:
**SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW**
LOTS 67 & 68 in DP 529880

TITLE:
VIEWS FROM SUN DIAGRAM

FILE:
D:\A12 A13 A14a 3d Owen Ave Wyong 220323.dwg

PLOTTED:
23/03/2023 10:35 AM

STATUS: DA	PROJECT No: BGYCG
DATE: 22/03/23	SCALE: N.T.S.
STAGE: MB	CHECKED: BR
TYPE: A	SHEET: A13
REV: -	



0 5 10 20 40MM
SCALE FOR PRINTING
PURPOSE ONLY

LEGEND



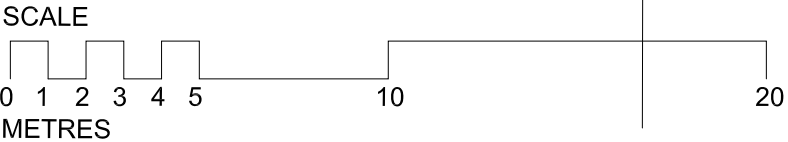
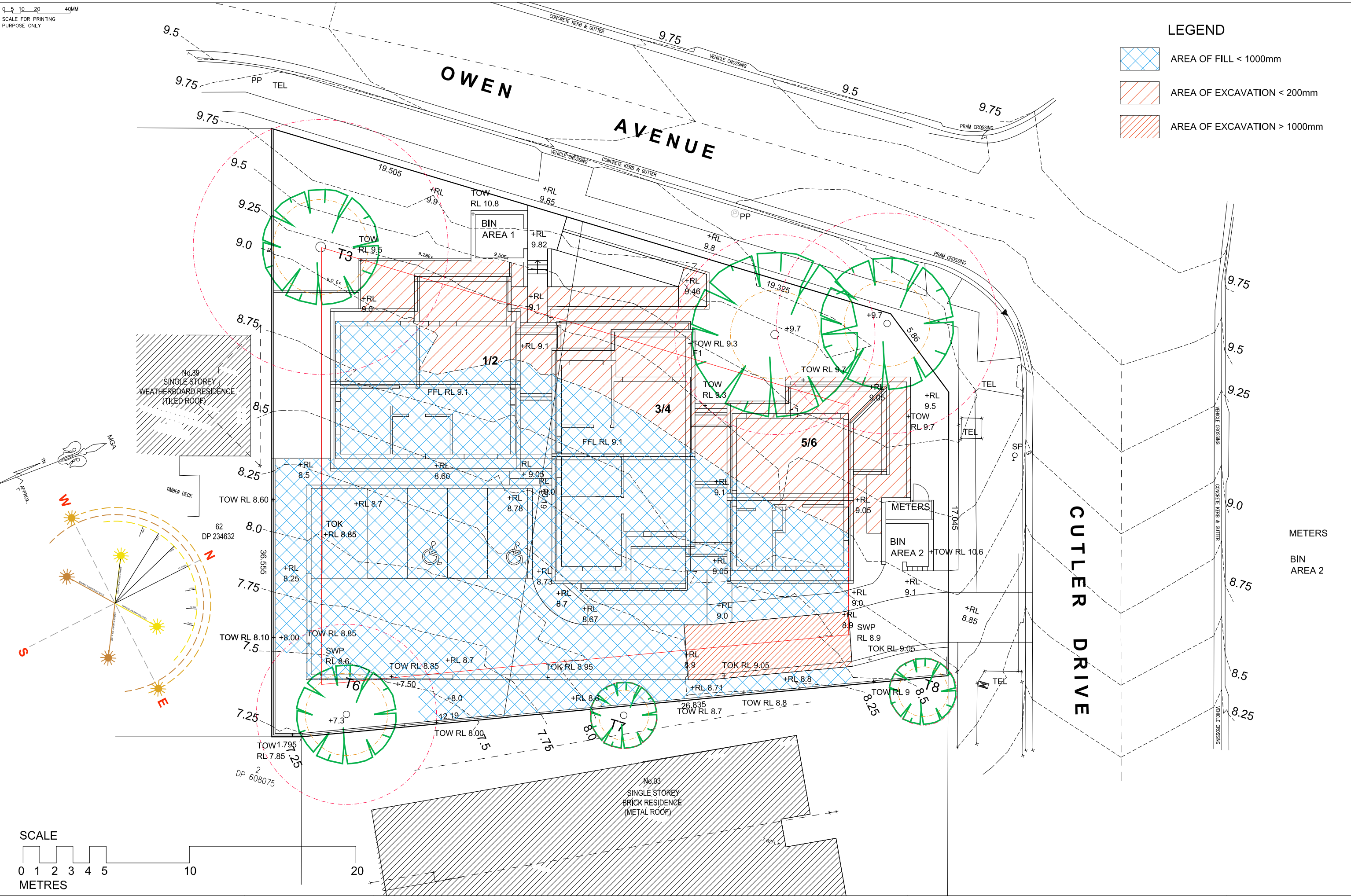
AREA OF FILL < 1000mm



AREA OF EXCAVATION < 200mm



AREA OF EXCAVATION > 1000mm





LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>



Barry Rush & Associates Pty Ltd
Architects. Nominated Architect: Barry John Rush
ARB Registration No 3753
Suite 25A, 2 Beattie Street, Balmah, NSW
Phone: (02) 9555 9028 Email: info@barryrush.com.au
www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
-	-	-
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
BARRY RUSH & ASSOCIATES PTY LTD
PH (02) 9555 9028

PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 8753 9000

LANDSCAPE CONSULTANT
GREENLAND DESIGN PTY LTD
PH (0403) 164 198

CIVIL CONSULTANT
ACOR CONSULTANTS PTY LTD
PH (02) 4924 5488

HYDRAULIC CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811

ELECTRICAL CONSULTANT
MARLINE NEWCASTLE PTY LTD
PH (02) 4925 9300 FAX (02) 4926 3811

BUSINESS PARTNER:

PROJECT:
**SENIORS DEVELOPMENT
41-43 OWEN AVENUE
WYONG, NSW**
LOTS 67 & 68 in DP 529880

TILE: AREAS OF EXCAVATION & FILL		STATUS: DA	
DATE: 22/03/23	SCALE: 1:100	PROJ: -	PROJECT No: BGYCG
STAGE:	DRAWN: MB	CHECKED: BR	DESIGNATED ARCHITECT: BR
FILE: DA A10c Demolition A15 Cut&Fill Owen Ave Wyong	PLOTTED: 220323.dwg 23/03/2023 10:32 AM	TYPE: A	SHEET: A15
		REV: -	